

INSPECTION REPORT



**1234 Baker Ave
Philadelphia PA 19100
PREPARED BY
INSPECTIONS UNLIMITED INC.**



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**THIS DOCUMENT IS FOR THE CONFIDENTIAL AND EXCLUSIVE USE OF
Miles Morgan for the property located at 1234 Baker Ave Philadelphia PA 19100**

April 7, 2010

Miles Morgan
1234 Mitchner Place
Philadelphia PA 19100

Re: 1234 Baker Ave
Philadelphia PA 19100

Dear Nicole Hunt,

On May 6, 2010, I inspected the above referenced property, as per your request. The home is a 60 ± year old building. The temperature was approximately 77 ± degrees and the weather was clear. The following is a summary of the conditions found from a visual inspection at that time.

Items indicated with an Estimated Cost require repairs or replacements. The dollar values are given as a guide for your information in planning only. For an accurate cost a contractor experienced and qualified in the particular trade must be consulted. Items indicated as recommendations should also be performed in the opinion of this inspector as upgrades and or improvements.

Items including but not limited to the underground sewage lines, piping and electrical lines inside the walls, areas and items hidden by furniture, buried or environmental issues INCLUDING THE PRESENCE OF RADON AND LEAD BASE PAINT are not included in this inspection. This inspection is based on a VISUAL inspection of ACCESSIBLE areas of the property that can be accessed without damage to adjacent areas, such as painted shut access panels etc. MAJOR fixed systems will be operated, conditions permitting, AT THE TIME OF THE INSPECTION. NO INSPECTIONS TO ANY GOVERNMENT CODES AND OR REGULATIONS IS INCLUDED IN THIS INSPECTION.

All statements regarding the condition of the systems, components and appliances, etc. are as of the date of this inspection and are limited to what was visible and accessible at that time. Any changes after this date are not the responsibility of this inspector or company. No inspection or opinion as to the condition, safety features or operation of any exterior items such as gas grills either portable or connected, playground type equipment, pools etc. is included in the inspection. These items are not to be considered a part of this inspection. If you have any concerns about such items they should be addressed with the current owner prior to the completion of the inspection time frame.



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It is recommended that the buyer re inspect the property prior to settlement to check for any changes in conditions, if any changes are noted and are of concern call my office immediately and I will discuss the issues with you at that time and if necessary return to the property.

This inspection report and any verbal information given during the inspection and any time subsequent to the inspection are CONFIDENTIAL and are for the sole use of the client (as indicated on this report). This report is not transferable or assignable to any third party. If any other parties obtain access to this report, whether the report obtained with or without permission neither the inspector nor the company will bear any responsibility under any circumstances for the contents of the report or any verbal information.

In the event that any problems should arise requiring repairs or replacement of any components included in this inspection or believed to be covered by this report, this inspector shall be notified and have the opportunity to make a physical inspection prior to any such repairs or replacement.

Section 7508 “Home Inspection Reports” Sub Section 3:

A home inspection is intended to assist in evaluation of the overall condition of the dwelling. The inspection is based on observation of the visible and apparent condition of the structure and its components on the date of the inspection.

The results of this home inspection are not intended to make any representation regarding the presence or absence of latent or concealed defects that are not reasonably ascertainable in a competently performed home inspection. No warranty or guaranty is expressed or implied.

If the person conducting your home inspection is not a licensed structural engineer or other professional whose license authorizes the rendering of any opinion as to the structural integrity of a building or its component parts, you may be advised to seek a professional opinion as to any defects or concerns mentioned in the report.

This home inspection report is not to be construed as an appraisal and may not be used as such for any purpose.



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Should there be any questions regarding this report please do not hesitate to contact my office. It was a pleasure to have been of service to you.

Very truly yours,

Fred Klein,
Inspections Unlimited Inc.
American Society of Home Inspectors ®
Certified Member #8465202360
Philadelphia License #24524

ps. As per your request a copy of this report is being given to your Realtor and or lawyer.



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In accordance with the law covering home inspections in Pennsylvania (Act 114 of 2000) Inspections Unlimited Inc. is in full compliance with the law. A fully executed compliance statement has been attached to our contract.

This law in part defines the following:

Home Inspection as a non-invasive, visual examination of some combination of the mechanical, electrical or plumbing systems or the structural and essential components of a residential dwelling designed to identify Material Defects. 75 P.S. §7502.

Material Defects as a problem with a residential real property or any portion of it that would have a significant adverse impact on the value of the property or that involves an unreasonable risk to people on the property. The fact that a structural element, system or subsystem is near at or beyond the end of its normal useful life is not by itself considered to be a Material Defects. 75 P.S. §7502.

Estimated costs of repairs and/or replacement included in this report are presented in a range and are taken from the Home Tech Remodeling and Renovation Cost Estimator, Home Tech Handyman Cost Estimator and/or Marshal & Swift using the most recent available version. It is assumed that all work will be performed by licensed contractors in the related fields. **ALL PRICES SHOULD BE CONFIRMED BY CONTRACTORS QUALIFIED AND LICENSED IN THE PARTICULAR TRADE.**

No home whether new or previously owned is now or will ever be free of defects or items requiring attention and/or repairs. The purpose of an inspection is to provide you the buyer with information to make an informed decision on the purchase of this property. Considering the complexity of any property it is impossible in the limited time of a typical home inspection to identify every possible defect and/or possible problem. Many of the problems with buildings are hidden within floors or walls in addition to being blocked by items of the current occupant. Every reasonable attempt will be made to identify these items within the scope of a home inspection, but no guarantees can be given. At the time of your re settlement walk through you responsible to observe any changes and/or areas not visible or accessible at the time of the original inspection. Any such changes or problems should be addressed before final settlement of the property.



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ESTIMATED COST

ESTIMATED COST \$75.00-200.00 per set Either removed the window bars or convert them to open from the inside without the need of tools and/or keys, this for safety in the event of a fire or other emergency. All hardware must have approved release mechanisms.

ESTIMATED COST \$600.00-700.00 Testing by a qualified licensed contractor to determine if the material present is Asbestos Containing Material is necessary. If it is determined that the product is an Asbestos Containing Material at levels requiring removal this and any other materials found should be removed. This must be performed by a qualified licensed contractor with all necessary paper work being supplied prior to settlement documenting the removal and disposal of the Asbestos Containing Material. The cost of removal is based on a one time set up fee and an average cost of \$10.00± per lineal foot. For larger jobs over 200 lineal feet the cost per foot maybe less. These cost are assuming normal access and conditions. When adverse conditions exist the cost will be greater.

IF REMOVAL OR ENCAPSULATION IS PERFORMED A COPY OF ALL PAPER WORK GENERATED BY THE REMOVAL AND PROPER DISPOSAL INCLUDING BUT NOT LIMITED TO AIR TESTING, DISPOSAL MANIFEST, REMOVAL AND CLEANUP PROCEDURES FROM A CERTIFIED COMPANY SHOULD BE OBTAINED FOR YOUR PERSONAL RECORDS.

ESTIMATED COST \$75.00-125.00 Install proper size circuit breakers for all improperly sized devices. In changing the devices to the proper size, in relation to the connected wire in some cases the circuits may fail. This is an indication that the wire is not suited for the connected load. In this case, the possibility of new or additional circuits is likely at an additional cost. This condition cannot be determined by a building inspection.

The items listed above are considered to be major defects as per the Pennsylvania Home Inspection Law as Chapter 75 of Title 68

A material defect is defined as "A problem with a residential real property or any portion of it that would have a significant adverse impact on the value of the property or that involves an unreasonable risk to the people on the property. The fact that a structural element, system



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or subsystem is near, at or beyond the end of a normal useful life of such a structural element, system or subsystem is not by itself a material defect."

IT IS IMPORTANT THAT THE COMPLETE REPORT BE READ TO UNDERSTAND THE ABOVE ITEMS. THIS ESTIMATED COST SUMMERY IS NOT A COMPLETE LISTING OF ALL ITEMS AND OR INFORMATION PERTAINING TO DEFECTS FOR THIS PROPERTY.

THE ESTIMATED COST GIVEN IN THIS REPORT ARE NOT INTENDED TO BE USED AS QUALIFIED CONTRACT QUOTES. ALL PRICES SHOULD BE CONFIRMED BY CONTRACTORS QUALIFIED AND LICENSED IN THE PARTICULAR TRADE.

IT IS IMPORTANT THAT ALL QUOTES FOR REPAIRS OR REPLACEMENT BE OBTAINED, IN WRITING, PRIOR TO THE EXPIRATION OF THE INSPECTION CLAUSE AS STATED IN YOUR AGREEMENT. FAILURE TO OBTAIN QUOTES MAY HAVE A NEGATIVE IMPACT IF THERE ARE HIDDEN OR ADDITIONAL ITEMS REQUIRING REPAIRS OR REPLACEMENT. OUR INSPECTION IS VISUAL AND LIMITED IN NATURE TO THOSE AREAS ACCESSIBLE AT THE TIME OF THE INSPECTION.

ANY DEFECT IN AN ITEM THAT MAY HAVE AN IMPACT ON OTHER ITEMS OR SYSTEMS WITH IN THE PROPERTY, SUCH AS DEFECTS IN ELECTRICAL, PLUMBING, HVAC ETC. MUST BE FULLY EVALUATED ONCE THE NOTED DEFECT IS CORRECTED. FAILURE TO MAKE THESE EVALUATIONS CAN AND MAY LEAD TO UNDISCOVERED DEFECTS NOT FOUND DURING THE ORIGINAL INSPECTION. IF SUCH CONDITIONS DO EXIST THESE TOO MUST BE CORRECTED. NEITHER THIS COMPANY OR INSPECTOR HAS NO CONTROL OVER THESE ITEMS AND IS THEREFORE NOT RESPONSIBLE FOR UNDISCOVERED DEFECTS.

ITEMS INDICATED AS RECOMMENDED REPAIRS ARE REPAIRS AND/OR IMPROVEMENTS THAT THIS INSPECTOR STRONGLY BELIEVES SHOULD BE MADE TO THE PROPERTY TO MAKE IT SAFER AND MORE HABITABLE, ALTHOUGH NOT CONSIDERED MATERIAL DEFECTS AS DEFINED.



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NO RE INSPECTION OF ANY COMPONENTS, SYSTEMS OR DEFECTS FOUND OR ASSUMED ARE INCLUDED AS A PART OF THIS INSPECTION OR REPORT. IN THE EVENT A RE INSPECTION IS REQUESTED OF ANY ITEM INCLUDED OR DUE TO CONDITIONS AT THE TIME OF THE INSPECTION NOT INCLUDED A MINIMUM CHARGE OF 60% OF THE ORIGINAL INSPECTION WILL BE DUE AT THE TIME OF THE RE INSPECTION.

RECOMMENDED REPAIRS

Although the following items may not be considered as material or major defects as indicated in the Pennsylvania law, in the opinion of this inspector they should be addressed and where necessary corrected.

ESTIMATED COST \$75.00-100.00 each Replace the missing and/or broken clay shingles on the roof pents. The use of the same type material or a suitable replacement is assumed along with professional installation. If further repairs are needed to the exposed area there will be an additional cost. This does not include any repairs or replacement to flashings if found necessary.

ESTIMATED COST \$150.00-200.00 Perform a full inspection of the wood and flashings related to the pents and present an estimate for repairs and or replacement as maybe necessary.

ESTIMATED COST \$ The brick chimney is in need of repairs at this time. All repairs should be done by a licensed contractor.

ESTIMATED COST \$100.00-125.00 each Repair or replace the failed window counter balance for the listed windows. When replacing the counter balances they should always be replaced as a set.

ESTIMATED COST \$150.00-250.00 Determine the extent of damage caused by the improperly installed exterior sill for the second floor front window. The cost or repairs and or replacement will be additional and depend on the findings.

ESTIMATED COST \$100.00-150.00 Ramp shifted and/or raised concrete areas in all sidewalks, curbs or walkways areas as may be necessary. This is a temporary repair with



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eventual replacement being necessary. In some townships replacement will be required as a condition for a certificate of occupancy, if this is the case the cost must be adjusted accordingly. It has become apparent that some insurance carriers are requiring all uneven or cracked sidewalks, walkways and steps to be replaced as a requirement for insurance. If your carrier imposes these requirements an extra cost will be incurred above that indicated for "ramping". This may be several hundred dollars depending on the amount of work required.

The large tree present which may also have an adverse effect on the plumbing system. Trees of this type and size have been known to send roots into drains and cause blockage and or failure. This condition can not be determined from a visual inspection. If you are concerned it is recommended that the current owner be questioned about past and/or current problems pertaining to the drain system and the tree. If you are concerned about possible hidden problems with the drains it is recommended that you consider video inspection of the drains, this will allow for a more detailed inspection of the drainage and water system.

ESTIMATED COST It is recommended that a licensed and or qualified tree surgeon provide an estimate to remove or trim the trees around building.

ESTIMATED COST \$150.00-200.00 each Raise the window well metal to aid in reducing water infiltration. For this estimate it is assumed no other corrective measures will be necessary.

ESTIMATED COST \$125.00-175.00 Repairs are necessary to correct the minor holes in the garage walls and/or ceilings. The use of a fire rated material such as cement, stucco, 5/8" fire code dry wall or an approved equivalent material for the ceiling or walls of the garage. If large areas require repairs the use of 5/8" fire code dry wall is recommended . **THE USE OF EXPANDABLE FOAM TYPE MATERIALS USED FOR REDUCING DRAFTS ETC. IS NOT ACCEPTABLE. THIS IS NOT A FIRE RATED MATERIAL.**

If you are concerned about the mold present a microbial investigation of the affected areas, by a certified company is recommended. This is necessary to assess the impact of the mold on those areas and in some instance the building. The results of this investigation and test should be used to estimated the cost of remediation All removal of mold, damaged walls, ceilings, carpeting etc. must be performed by a mold abatement contractor. Failure to properly remove the mold and protect the workers may result in additional damage an



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injury. The cost of the microbial investigation will depend on the size of the areas to be inspected. This can range from \$350.00-450.00 to several thousand dollars.

ESTIMATED COST \$150.00-250.00 each Correct the listed slow plumbing drains. It is assumed that opening of walls, floors, ceilings etc. will not be required. If walls, ceilings etc. must be opened an additional cost will be incurred. If you are concerned about possible hidden problems with the drains it is recommended that you consider video inspection of the drains, this will allow for a more detailed inspection of the drainage system. The drains are located in the following areas: hall bathtub.

ESTIMATED COST \$125.00-150.00 Correct "quick cycling" of the heater, this is necessary to provide proper and even heating. If additional repairs are necessary, an extra cost maybe incurred.

ESTIMATED COST \$100.00-150.00 Replace the safety switch for the lower compartment of the hot air heater.

ESTIMATED COST \$25.00-35.00 Extend temperature and pressure relief valve for the water heater, to within 6"± of the ground in a visible location with a ¾" pipe, unthreaded at the bottom.

ESTIMATED COST \$125.00-175.00 Determine the source and cause of the leak in the listed areas, the cost of repairs will be additional and depend on the cause of the leak and whether remediation of mold is necessary. If mold is present or found treating and/or testing will be additional.

ESTIMATED COST \$75.00-125.00 each Replace missing balusters using stock balusters as necessary to maintain a proper secure railing system and the maximum distance of 4" o.c. (on center) between balusters. If matching balusters are desired an extra cost for custom turning will be incurred and can be expected to be in the range of \$250.00-350.00 each.

ESTIMATED COST \$100.00-150.00 each Remove old caulking and replace with a quality latex or preferably a silicone caulk. Failure to properly maintain caulking may lead to extensive and costly damage to the substrate, adjacent areas and where applicable areas below. If damage is found to the substrate or any areas an additional cost will be incurred.



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ESTIMATED COST \$150.00-250.00 Replace the service cable between the panel and the meter that is covered with tape.

ESTIMATED COST \$75.00-100.00 Have a licensed electrician remove the outer insulation on the wires in the panel as necessary.

ESTIMATED COST \$100.00-150.00 Correct all double tapped circuits as required. If an additional panel is necessary to facilitate the repairs added cost will be incurred.

ESTIMATED COST \$100.00-150.00 Replace all improper exterior wiring using approved methods and either weather tight conduit or UF cable and the proper connectors.

ESTIMATED COST 20.00-30.00 each box Install connectors for all wires at the electrical panel as necessary.

ESTIMATED COST \$25.00-35.00 Install proper jumper for water meter, this must be a minimum of a #6 bare copper wire with proper clamps. If necessary a ground rod should also be installed at an added cost of \$75.00-100.00. Today a ground rod is required for all systems in addition to the water pipe ground.

ESTIMATED COST \$75.00-100.00 each Provide GFCI protection for all receptacles in the garage, when present and in use as a garage, except for not readily accessible receptacle used for garage door openers, outside, roof tops, bathrooms, crawl spaces, unfinished basements and all receptacles over or in reach of a countertop, except for the refrigerator and any area where there is the danger of electrical shock. The current standards in place at the time of this inspection should be applied. All new GFCI'S should meet the new current standards adopted in 2004. Multiple receptacles can be installed on the load side of a single GFCI receptacle on the same circuit.

It is your responsibility on the day of settlement to do a pre settlement walk-through of the property. At that time all systems should be checked determine if they are in working condition as they were at the time of the inspection or if repairs requested were properly performed. This should include but not be limited to the following.

1. Check heating and air conditioner, if present for proper operation. If the outside temperature is has been below 55 degrees in the last 24 hours the air conditioner can not and should not be operated as this can damage the unit.



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2. Operate ALL plumbing fixtures in the home and determine that the hot water heater is in operating condition.
3. Turn on and off all light fixtures and if possible check a random number of receptacles.
4. Visually inspect all walls and ceilings for signs of changes that may have occurred, including new water stains.
5. Visually inspect all windows for broken glass or failed insulated glass panels.
6. Operate all kitchen appliances including cooking, plumbing and cabinets.
7. Any signs of recent water infiltration in the basement or other areas of the property should be noted and brought to the agent and sellers attention.

**IF THERE ARE ANY DEFECTS OR DISCREPANCIES FOUND THEY MUST BE
ADDRESSED PRIOR TO SETTLEMENT.**

It is recommended that before you purchase any home you have it inspected by a wood destroying insect (WDI) control firm. We do not inspect for the presence or absence of wood destroying insects.



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FLAT ROOF

The roof which is a flat design was inspected from a ladder due to the height and or design, safe access was not possible.

The visible covering appears to be built up roof consisting of multiple layers of roofing felts covered with hot asphalt.

All roofs of this type should be recoated every 4-5 years to maintain the water tight integrity and help extend their normal life span. ***At the time of recoating all flashings, that is the terminal enclosures around all the vents stacks, chimneys, sky lights, etc. and eaves boxes should also be checked and repaired as necessary.*** In addition any metal surfaces present including sky lights should be painted and/or repaired as needed. A flat roof can typically be coated once or twice after which time stripping down to the substrate is necessary. This will result in an additional cost to be added to any roof replacement estimated cost.

The debris on the roof are from the trees and as noted the trees should be trimmed. Failure to keep the roof clear will result in deterioration and may lead to clogged drains and the resulting leaks.



The inspected roof appears to have been "silver" coated with in the last 2-3 years and will require an other coating with in 2-3 years, with some possible repairs prior to that time. When a roof has been covered with a silver color roof coating, it is assumed that the applied coating is compatible with the roofing material. Because of the coating the actual roofing material is covered and can not be readily inspected.

As discussed this roof as per the owner is an older installation and although not leaking you must budget for replacement. The roof as coated approximately 2-3 years ago with a one year warranty. The normal time between coatings is 4-5 years. You should budget for



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replacement at the next time a coating is recommended 1-3 years..

The clay shingles on the pents, the roof below the main roof, are in fair to poor condition. As with all roofing material maintenance is necessary and eventual replacement should be budgeted for in the future. The average life expectancy for this type of material in this use is 60-70 years. At this time replacement is recommended. As with all roofing material maintenance is necessary and eventual replacement should be budgeted for in the future. Numerous shingles have been repaired and or replaced in the past. The method used are not a recommended nor proper means of repair although common. Ongoing maintenance and eventual replacement is to be expected.

There are numerous missing clay shingle present on the pent. This should be replaced with another shingle of the same material or a another suitable material. Each missing shingle is a potential leak and weak spot.

ESTIMATED COST \$75.00-100.00 each Replace the missing and/or broken clay shingles on the roof pents. The use of the same type material or a suitable replacement is assumed along with professional installation. If further repairs are needed to the exposed area there will be an additional cost. This does not include any repairs or replacement to flashings if found necessary.

It was also noted that the wood trim etc at the pents is in poor condition and this too will require repairs on an as needed basis. It is possible that there is hidden damage present that maybe found after repairs are started. If found an added cost of repairs or replacement will be incurred.

ESTIMATED COST \$150.00-200.00 Perform a full inspection of the wood and flashings related to the pents and present an estimate for repairs and or replacement as maybe necessary.





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It is important that all area drains be monitored and kept clear at all times. Failure to keep these drains clear may lead to water infiltration. The condition of underground pipes can not be determined by a visual inspection. In the event that repairs or replacement is necessary the cost will depend in part if excavation is required. When excavation or opening of walls or floors is required the cost will increase substantially. It is important the monitor underground systems for possible blockage. A visual inspection does not include these or any buried pipes.

The installed downspouts are aluminum and discharge to what is assumed to be an underground system of pipes. It is important that all downspouts be kept clear and free of debris. Failure to properly maintain the downspouts will result in blockage, which will result in water ponding on the roof which can lead to premature failure of the roof system. *The condition of these buried pipes as with all such pipes etc. can not be checked as a part of a visual inspection and are not a part of this inspection.*

EXTERIOR

The property, a two story end of the row home, is constructed or covered with brick and stone. Some areas are covered with wood siding should be monitored for possible deterioration due to moisture. Areas not accessible at the time of the inspection were not inspected. If you have any concerns about non accessible areas access and an inspection should be conducted prior to the settlement date of the property.

Proper flashing detailing and installation is a critical component of a waterproofing system. This applies to roofs, basements, crawlspaces, exterior cladding, windows, doors etc. Flashings are applied at intersections of horizontal and vertical planes, points of penetration to provide waterproofing protection at these vulnerable junctures. These areas are the most vulnerable points of the entire system. Many reports of failures or leaks can be traced to improper flashing design, detailing or application. Successful flashing system design and installation is required at all points



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of terminations. It is essential that the flashing system be designed in compliance with the material manufacturers requirements for materials and application methods being used.

As inspectors many of these areas are not readily visible at the time of the inspection, since they may be covered by the finished material. But signs of poor workmanship, improper application or excessive wear may be visible and are so noted in our report. All flashings require maintenance over the life of the roof and structure system. Minor cracks are to be expected in any masonry material whether it be brick, stone, stucco or any other material. These will occur in most instances from normal movement and expansion and contraction. Such minor cracks 1/16 to 1/8" should be monitored and where necessary repaired using mortar or in some instances a quality expandable material such as silicone caulk. But in most cases these normal cracks do not present any major concern and are to be expected and do not require repairs.

Eventual pointing of the whole structure will be required and should be budget for in the future, at an average cost of \$10.00-15.00 per square foot, with adjustments made for the size of the project and difficulty in access and/or scaffolding required. The exterior stone has been pointed in the past, as with all buildings this is normal maintenance. It was observed that some of the "new" pointing has fallen out. This is not uncommon and occurs because the original mortar was not properly prepared. Repairs will be required in the future and should be budgeted for as a normal maintenance item.

There is brick chimney with a flue liner installed for the heater, it appears to be in fair condition at this time, when viewed from a ladder and the ground and is in need of repairs at this time. All chimneys require ongoing maintenance and in time repairs. This is due in part to the nature of a chimney, the constant heating and cooling cycles. This will lead to deterioration and the need for repairs with eventual replacement.

ESTIMATED COST \$ The brick chimney is in need of repairs at this time. All repairs should be done by a licensed contractor.

There is cap installed on the flue liner for the heater, because of this the liner can not be visible inspected from above. If access is possible from the inside it will be limited due to the lack of light and the installed cap. The installation of a cap will help reduce water infiltration and the chance of birds etc from entering the chimney. If you are concerned about the condition of the liner an inspection by a chimney sweep, including removal of



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the cap and a cleaning should be arranged.

The doors are metal and wood and are in fair condition for their age. All exterior doors should be maintained on a regular basis and all weather stripping checked periodically to assure proper function and the reduction of air infiltration. It is also recommended that security locks and/or bolts be installed with all keys being alike for ease of entrance. All exterior doors should be designed to lock automatically when exiting.

The glass in some doors and/or side panels may be standard glass. This type material was commonly used when this building was built or the doors and/or panels were installed. It has not been used for many years because of the potential danger of serious injury or death from broken glass. For your safety it is recommended that all non safety glass in doors, side panels within 24" of a door way and windows were necessary be replaced with safety, tempered glass or plastic panels.

The installed windows are vinyl replacement windows, the functionality of the tilt in mechanism, when present, is not tested as a part of our inspection as it is not necessary for normal operation, but is for cleaning purposes. aluminum replacement windows, the functionality of the tilt in mechanism, when present, is not tested as a part of our inspection as it is not necessary for normal operation, but is for cleaning purposes. glass block windows There are both standard and insulated glass panels present in the accessible areas. Insulated glass will reduce energy cost, but is subject to eventual failure due to the leakage of the argon gas when the seal fails. When this occurs replacement of the glass panel will be required. With operation of the windows consist of double hung units In addition to some fixed panels. jalousie units It is important that all windows have properly working locks. Locks serve multiple purposes including security and keeping children from opening windows to reducing air infiltration. Windows should be checked periodically to determine if the locks are working and are locked when the windows are closed. ***In instances where safety latches are installed or can be installed they should always be used. These latches prevent the window from being opened more than 3-4 inches.***

Random sampling of accessible windows were inspected. In cases where furniture, personal items, seasonal decorations etc, prevent access an inspection may not have been performed. In such cases it is recommended that you inspect these windows prior to the expiration of the inspections period or if not at the pre settlement walk through.



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The general condition of the windows is fair at this time. As with any exterior system maintenance will be necessary to maintain the windows. A random sampling of the windows was performed in accessible areas. In some cases not all windows were or could be accessed. It is important that all window locks be in operating condition and when necessary repaired or replaced.

Windows with air conditioner units or fans installed were not inspected due to lack of access. If you are concerned about these windows separate arrangement should be made for removal and inspection of these windows.

Repair or replace the failed window counter balance on the second floor in the front room in the middle room.

ESTIMATED COST \$100.00-125.00 each Repair or replace the failed window counter balance for the listed windows. When replacing the counter balances they should always be replaced as a set.

The front second floor window sill, on the outside is improperly angled towards the building, as a result the interior sill has been damaged. It is possible that there is hidden damage present that maybe found after repairs are started. If found an added cost of repairs or replacement will be incurred.

ESTIMATED COST \$150.00-250.00 Determine the extent of damage caused by the improperly installed exterior sill for the second floor front window. The cost or repairs and or replacement will be additional and depend on the findings.



Some windows have bars installed for security. It is recommended that all bars be either removed or made to open from the inside without the need of tools and/or keys. This for safety in the event of a fire or other emergency.

ESTIMATED COST \$75.00-200.00 per set Either removed the window bars or



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convert them to open from the inside without the need of tools and/or keys, this for safety in the event of a fire or other emergency. All hardware must have approved release mechanisms.



The soffit, barge and fascia material is wood and or wood capped with aluminum in the visible and accessible areas. Exterior capping requires ongoing maintenance and caulking. Failure to properly maintain these surfaces will lead to costly repairs or replacement. Although capped the wood can deteriorate due to water infiltration from poorly caulked or maintained joints. When caulking a quality silicone type material should be used and installed in accordance with the manufactures recommendation. Most of the exterior trim has been covered with aluminum. When wood has been capped the condition of the underlying wood can not be determined. It is very important that caulking be maintained to prevent damage to the wood beneath. We recommend that a quality material such as silicone be used for all caulking. Failure to maintain the capping will allow water infiltration and will lead to damage or failure of the substrate.

The concrete sidewalks and/or walkways are in fair condition for there age. It is important that all walkways and steps be kept free from tripping hazards both now and in the future. This applies to broken or lifted concrete and any other area that may cause a person to trip. In cases where the steps are of a solid material, such as concrete or brick and are adjacent to the property the joint between the steps and the building is subject to movement. This joint should be monitored and when necessary repaired and or filled with a flexible sealer such as a silicone caulk. This will help reduce water infiltration to the building and deterioration of the steps.

Some areas of the sidewalk, walkways and/or the curb have shifted or settled. These areas should be "ramped" with cement so as not to present a trip hazard. If this is not satisfactory replacement will be needed. Many insurance carriers are requiring all uneven or cracked walkways and steps to be replaced as a requirement for insurance. It your carrier imposes these requirements an extra cost will be incurred above that indicated for "ramping" will be



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required.

ESTIMATED COST \$100.00-150.00 Ramp shifted and/or raised concrete areas in all sidewalks, curbs or walkways areas as may be necessary. This is a temporary repair with eventual replacement being necessary. In some townships replacement will be required as a condition for a certificate of occupancy, if this is the case the cost must be adjusted accordingly. It has become apparent that some insurance carriers are requiring all uneven or cracked sidewalks, walkways and steps to be replaced as a requirement for insurance. If your carrier imposes these requirements an extra cost will be incurred above that indicated for "ramping". This may be several hundred dollars depending on the amount of work required.



The large tree present which may also have an adverse effect on the plumbing system. Trees of this type and size have been known to send roots into drains and cause blockage and or failure. This condition can not be determined from a visual inspection. If you are concerned it is recommended that the current owner be questioned about past and/or current problems pertaining to the drain system and the tree. If you are concerned about possible hidden problems with the drains it is recommended that you consider video inspection of the drains, this will allow for a more detailed inspection of the drainage and water system.





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The exterior steps are concrete and are in satisfactory condition at this time, but as with all exterior steps ongoing maintenance and repair as necessary to maintain a safe area.



The installed rails are in fair condition at this time. It is important that all rails be monitored and repaired on an as needed basis. In time rails tend to become loose or show signs of deterioration from exposure and/or use. Failure to properly maintain rails can result in serious injury to individuals.

The trees and/or bushes adjacent to the building are hitting and rubbing against the building. This will in time cause wear and damage the building in any place where there is contact. We recommended that they be trimmed so as not to have direct contact with the building. This will also allow for an inspection of any hidden areas for possible damage. In areas where access was impeded no visual inspection was performed at this time. All climbing vines should be removed because they damage the areas where they attach themselves to the building. In time this will cause deterioration of the masonry joints and walls. Removal will also allow for an inspection of any hidden areas. In areas where access was impeded no visual inspection was performed at this time. Keep trees trimmed so that branches are at least 7 feet away from any exterior house surface. This will help prolong the life of your siding and roof and prevent insects from entering your home from the tree. Vines should be kept off all exterior walls, because they can help open cracks in the siding, which allows moisture or insects to enter the building.

ESTIMATED COST It is recommended that a licensed and or qualified tree surgeon provide an estimate to remove or trim the trees around building.



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GRADING

The exterior grading was checked for proper water run off and low spots in accessible areas. It appears to be fair to poor under normal rain and/or snow conditions. It is recommended that you consider some improvements to reduce the chances of water infiltration in the future. But it must be understood that under abnormal conditions any property may experience some water infiltration. In addition if at sometime the perimeter landscaping is modified by removal of heavy growth this will in some cases allow infiltration to interior spaces that were dry in the past.

No opinion as to the undetermined conditions or past problems with grading are made by this inspector. Our inspection is a visual inspection of this property and does not include adjacent properties that might, under extreme conditions impact on this property. Such evaluations would require obtaining plans from the local authorities and the services of an engineering firm specializing in site work. If for any reason you have such concerns it is recommended that during the inspection process you obtain additional information and services as maybe necessary at an additional cost.

All areas should be angled away from the building with the grading pitched at a minimum of (1") one inch per foot for a minimum of (3') three feet, this will aid in reducing water infiltration to interior spaces. Care should be taken when flower beds are installed not to encroach on the 8" space around the perimeter between the ground and siding.

There is heavy ground cover in various areas surrounding the building. This prevents a full inspection of the grading and general conditions. It is recommended that the covering be either removed or trimmed to allow for a full inspection and evaluation of the grading and the conditions of any walls, windows etc. in the area. ***If the covering is removed attention must be given to proper grading and water retention. At this time although the covering maybe covering poor grading it is also absorbing considerable amounts of moisture. Removal without proper grading and grass or other covering will in most cases lead to water infiltration.***

The window wells are flush or close to the ground and will allow water to infiltrate to the basement. It is recommended that the metal well be extended along with repairs to the grading to help reduce water infiltration. In addition you may want to consider installing covers over the window well to reduce the amount of water that can enter and accumulate.



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ESTIMATED COST \$150.00-200.00 each Raise the window well metal to aid in reducing water infiltration. For this estimate it is assumed no other corrective measures will be necessary.



GARAGE/PARKING

There is a one car tuck under garage present.

The driveway is, concrete and in fair to poor condition at this time and will require repairs in the next 1-2 years. Most of the area was covered with a car, but signs of normal deterioration were noted.



It is important that all area drains be monitored and kept clear at all times. Failure to keep these drains clear may lead to water infiltration. The condition of underground pipes can not be determined by a visual inspection. In the event that repairs or replacement is necessary the cost will depend in part if excavation is required. When excavation or opening of walls or floors is required the cost will increase substantially. It is important the monitor underground systems for possible blockage. A visual inspection does not include these or any buried pipes.



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The installed door is an aluminum overhead door in satisfactory condition. All garage doors, whether manual or automatic present a potential danger to children. This is especially true with automatic doors. The danger of injury from contact with moving parts, pinching of fingers etc. is present and should be addressed for all garage doors. When an automatic door is in place additional dangers are present. Children should never be allowed to play with or around an operating garage door. ***It is recommended that the safety features of all doors be checked on a monthly basis and when necessary repaired.***

New regulations now require that all expansion type springs for garage door counter balance have a safety cable installed with in the spring to prevent injury in the event the spring or it's connections should fail. Although this installation may not be covered with these regulations it is strongly recommended that this important safety spring restraint cable be installed as an upgrade.



The garage door is operated manually and is satisfactory operating condition for it's age. All garage doors require periodic maintenance such as lubrication of the tracks and hinges.

The garage door bucks, frames are capped with aluminum and cannot be visible inspected. This is sometimes done to cover deterioration of the bucks at the ground level and/or past damage. Deterioration of the bucks is common in this type of construction, due in part to moisture and/or termites. Repairs normally consist of installation of pressure treated wood in place of the existing non-treated wood. No opinion as to the condition of the wood beneath the capping is made nor can be assumed. It is important as with all capped wood that the joints be properly caulked and maintained to prevent water infiltration which will result in deterioration of the wood.

At the time of the inspection the garage had some stored items present. This hampered the inspection to those limited areas that were accessible. It is important at the time of your pre settlement walk through that all such areas be visually inspected for any hidden damage.



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There are minor holes in the ceiling of the garage. All holes must be properly sealed to maintain the fire integrity of the garage. The use of a fire rated material such as cement, stucco, 5/8" fire code dry wall or an approved equivalent material for the ceiling or walls of the garage. If large areas require repairs the use of 5/8" fire code dry wall is recommended . THE USE OF EXPANDABLE FOAM TYPE MATERIALS USED FOR REDUCING DRAFTS ETC. IS NOT ACCEPTABLE. THIS IS NOT A FIRE RATED MATERIAL.

ESTIMATED COST \$125.00-175.00 Repairs are necessary to correct the minor holes in the garage walls and/or ceilings. The use of a fire rated material such as cement, stucco, 5/8" fire code dry wall or an approved equivalent material for the ceiling or walls of the garage. If large areas require repairs the use of 5/8" fire code dry wall is recommended . THE USE OF EXPANDABLE FOAM TYPE MATERIALS USED FOR REDUCING DRAFTS ETC. IS NOT ACCEPTABLE. THIS IS NOT A FIRE RATED MATERIAL.





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STRUCTURE

Areas hidden from view by finished walls or stored items can not be judged and are not a part of this inspection. Minor cracks are typical in many foundations and/or concrete floors. In most cases they do not represent a structural problem. If major cracks are present along with bowing, we routinely recommend further evaluation be made by a qualified structural engineer. All exterior grades should allow for surface and roof water to flow away from the foundation. All concrete floor slabs experience some degree of cracking due to shrinkage in the drying process. In most instances floor coverings prevent recognition of cracks or settlement in all but the most severe cases. Where carpeting and other floor coverings are installed, the materials and condition of the flooring underneath cannot be determined.

The visible and accessible portions of the foundation and the main structural members were examined where and or when possible. The underground system, which consists of footings, and or piers with specific load bearing qualities, designed for this particular house and the soil cannot be examined. There is a basement and garage present, the general visible and accessible areas show no visible signs of major defects. The area should be considered to be in fair condition.

The concrete walls were accessible and visible inspected for less then 10%± of the area. As is common with concrete foundations some minor cracking may occur. Cracks of less then 3/16" are not normally considered major defects.

The accessible areas were in satisfactory condition considering the age of the building. Minor stress and/or settlement cracks in concrete walls are not an indication of a structural failure and can be expected. Cracking typically occurs at stress points such as 90 degree corners in walls and floors, this also applies to all doors, windows etc. Cracks less then 3/16" are normally not considered to be structural in nature.

All of the ceilings in the accessible areas were covered in such a manner that they could not be inspected. Therefore, no opinion can be made about the condition or size of the joists or any other item in the ceiling or between the joist.

There are stains from what appears to be past water infiltration in the basement. At this time there was no active infiltration, but this is not a guarantee that under some condition they might not reoccur in the future. A determination of this type is beyond the scope of a visual inspection. It should be noted that the basement appears to be "damp", this is a



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relative term but dampness is one part of formula to the growth of mold, the others being warmth and a food source both of which were present.

It is recommended that a dehumidifier be installed in the area in addition to attention being given to grading and any areas of water infiltration. Dehumidifiers are normally rated by the amount of water removed per day, the higher the better. If possible the unit should be set up to drain into a sink or other point to reduce risk of overflowing from units that require manual dumping of the water. The average cost may range from \$200.00-300.00 each. There are stains from what appears to be past water infiltration in the basement, with some "wet" areas present at this time, although minor in nature. It is recommended that a dehumidifier be installed. Dehumidifiers are normally rated by the amount of water removed per day, the higher the better. If possible the unit should be set up to drain into a sink or other point to reduce risk of overflowing from units that require manual dumping of the water. The average cost may range from \$200.00-300.00 each.

Whenever there is water infiltration and/or plumbing leakage from any source the possibility of mold and/or mildew growing and becoming a problem is present. As a home inspector, we do not do any destructive or invasive investigations to visibly determine if mold and/or mildew is present. Nor do we test for the present of mold and/or mildew or perform lab tests to determine the type present. If requested these tests can be arranged by outside companies at an additional cost.

In addition to possible mold, hidden damage to the ceiling and/or walls, insulation may have occurred. Damage behind walls and/or ceilings are beyond the scope of a home inspection, WHICH IS IN ITS NATURE A VISIBLE INSPECTION OF ACCESSIBLE AREAS AND ITEMS. Neither this inspector or the company are responsible for any hidden damage caused by past water infiltration and/or leaks. To determine the extent of such damage would require the opening of walls and/or ceilings for a visual inspection and possible testing. If you have, a concern about any such damage arrangements should be made for further invasive inspections and related testing, at a cost to be determined.

In addition it should be understood that individuals may have varied sensitivities to mold, contaminates etc. If anyone who may occupy this property has high sensitivities to any forms of mold, contaminates etc it is our recommendation that you have testing performed by a individual or firm qualified and if possible certified in determining

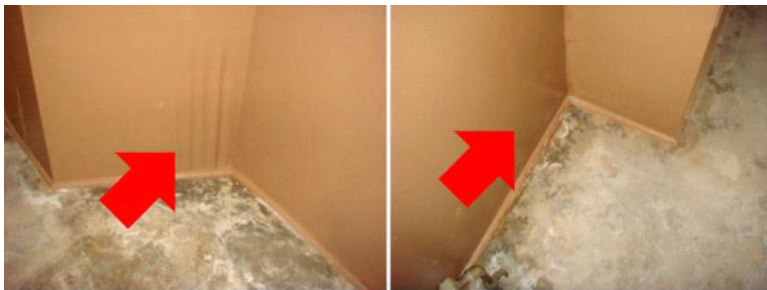


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indoor air quality. This as with any such testing should be completed as part of the inspection process and during the time frame allowed by the sales agreement.

If you are concerned about the mold present a microbial investigation of the affected areas, by a certified company is recommended. This is necessary to assess the impact of the mold on those areas and in some instance the building. The results of this investigation and test should be used to estimated the cost of remediation All removal of mold, damaged walls, ceilings, carpeting etc. must be performed by a mold abatement contractor. Failure to properly remove the mold and protect the workers may result in additional damage an injury. The cost of the microbial investigation will depend on the size of the areas to be inspected. This can range from \$350.00-450.00 to several thousand dollars.



PLUMBING

The building has a 1/2" copper public water service and terminates in the basement. In the event of a leak, turn the water off at this location or the individual appliance until repaired. All valves should be accessible at all times in the event of an emergency.



UNDERGROUND PIPES, SPRINKLER PIEST AND PIPES WITHIN WALLS, FLOORS AND CEILINGS ARE NOT A PART OF THIS VISUAL INSPECTION. THIS INCLUDES AREA DRAINS ON THE OUTSIDE, FLOOR DRAINS IN GARAGES STAIRWELLS AND BASEMENTS IF PRESENT. SEEPAGE OR SLOW LEAKS



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FROM HIDDEN PIPES ARE EXCLUDED FROM THIS VISUAL INSPECTION.

WATER QUALITY OR HAZARDOUS MATERIALS (LEAD) ETC. TESTING IS AVAILABLE FROM LOCAL TESTING LABS OR INSPECTIONS UNLIMITED INC. UPON REQUEST AND UNLESS SPECIFIED IN THE AGREEMENT IS NOT INCLUDED IN THIS INSPECTION REPORT.

The pressure was adequate for the incoming service. It is important to periodically clean all aerators, especially after any plumbing work or repairs have been performed.

The gas main is located in the basement. This should be left accessible at all times for emergency access. In the event of a gas leak it is recommended that the gas company be notified immediately and if necessary the building be evacuated.

The plumbing access panel is located in the adjacent closet. It was accessed and no visible signs of active leaks were observed.



The faucets and diverters are in satisfactory condition for their age. As with all such items repairs and replacement are common and should be expected.

The accessible toilets were checked and there were no signs of loose toilet bowls were noted. If at anytime a toilet should become loose or move when used, this is an indication that repairs are needed and a plumber should be called. Failure to correct this condition will in time lead to water damage to the surrounding floors and or the ceilings below.

There is deterioration of the hall bathroom sink. At this time, these do not adversely affect the use of the sink and are more cosmetic in nature.



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The waste from the building exits to what has been presented as a public disposal system. The conditions of the pipes below the ground, with in walls and/or hidden cannot be determined by a visual inspection and no opinion on their condition is known or is an opinion being presented. The condition of the visible and accessible lines is as noted in this report.

The visible sanitary system drains through horizontal and vertical waste stacks. Drains with in walls, ceilings or otherwise hidden cannot be inspected as a part of a visual inspection. By running the water, we attempt to find active leaks in addition to visually inspecting all accessible areas. However, this is by no means to be considered an inspection of all areas hidden or blocked from view.

The visible drains consist of cast iron with lead seals at the joints, copper drain pipes and lead drains. **Lead and or galvanized drains were installed up until the 1960's. they were visible at the time of the inspection. The normal life of a lead or galvanized drain is 25-30 years but if not disturbed can last much longer. *Once repairs or modifications to the fixture are made the drain will have to be replaced with plastic or copper drain lines. If in the course of repairs of remodeling when lead or galvanized drains are found they should be replaced while accessible.***

The vent stacks to the outside are cast iron in the accessible and visible areas.

The hall bathroom is draining slowly and will require possible cleaning and or repairs. It is assumed that no excavation, opening of walls or ceilings etc. will be necessary for these repairs.

ESTIMATED COST \$150.00-250.00 each Correct the listed slow plumbing drains. It is assumed that opening of walls, floors, ceilings etc. will not be required. If walls, ceilings etc. must be opened an additional cost will be incurred. If you are concerned



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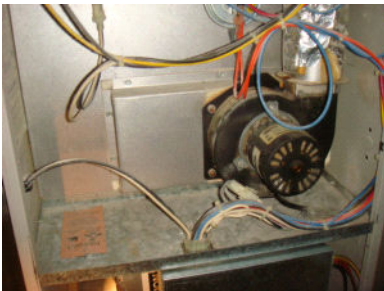
about possible hidden problems with the drains it is recommended that you consider video inspection of the drains, this will allow for a more detailed inspection of the drainage system. The drains are located in the following areas: hall bathtub

The outside hose bibs were checked in the accessible areas, not all may have been checked do to lack of access. It is important that in the winter all outside hose bib be turned off from the inside and drained. It is recommended that the outside be left open after draining to reduce the chance of freezing.

HEATING

There is one gas fired forced air heater located in the laundry room. Installation in the laundry room is not recommended due the presents of bleach and other chemicals that may have an adverse effect on the heater.

It is recommended that chlorine, bleach etc, not be stored in the area of the heater. The chemical reaction of the chorines and gases from the heater exhaust can create a detrimental condition and accelerate deterioration of the heat exchanger and related components.



The heater was visibly inspected and is in satisfactory condition for its age and functioning as intended, The heater was visibly inspected and is in fair condition for its age it appears to be 15-17 years old and is nearing the end of its normal life expectancy . In addition to being nearing the end of its normal life expectancy the system is inefficient by today's standards and waste energy. Replacement with a new system regardless of it efficiency rating would be an improvement and should lead to reduced overall energy cost. Obviously the higher the efficiency of the new system the greater the savings and initial cost, but as with all energy saving systems there is a point where it may not be cost effective and a compromise must be made.

This forced air heater utilizes what is referred to as a "turbo" system for the flame. The gas



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is forced into the combustion chamber, normally in a horizontal manner. Unlike older systems where the flame exits from an orifice and extends in an upward manner. Both systems provide adequate heat and service. The turbo, system does not allow for checking the flames pattern and any changes that may occur when the blower motor is in used. The flame pattern and/or changes are one method used to check for a failed heat exchanger. It is recommended that a service policy be obtained from the local utility for all installed heating systems, if available, which will in part cover repairs to the systems. Although this is a limited policy it maybe of help for some repairs that can be expected in time. These policies do not typically cover major repairs or replacement.

At the time of this inspection the heater "quick cycled". This means that although working the fan did not stay on for the proper length of time or until the thermostat was satisfied. This condition may require repairs to the high low switch and or related systems.

ESTIMATED COST \$125.00-150.00 Correct "quick cycling" of the heater, this is necessary to provide proper and even heating. If additional repairs are necessary, an extra cost maybe incurred.

The safety switch for the lower compartment is not working and must be replaced. This switch is designed to shut the system off when the bottom access door is removed.

ESTIMATED COST \$100.00-150.00 Replace the safety switch for the lower compartment of the hot air heater.



No opinion as to the actual adequacy of the system or the distribution is made as a part of this inspection. Making this type of determination is beyond the scope of a home inspection and requires the services of a qualified heating contractor. Detailed measurements of the building, windows, the amount of insulation along with heat loss calculations must be taken of the entire building to make an accurate determination.

As with all hot air furnaces rust may in time cause a failure of the heat exchanger. This vital



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part of the heater is for the most part enclosed and cannot be fully inspected as a part of a visual inspection.

It is recommended that a service policy be obtained from the local utility if available which will in part cover repairs to the systems. Although this is a limited policy, it may be of help for some repairs that can be expected in time.

A random check as to the air flow was performed on accessible registers. Not all registers were checked nor was test equipment used. An inspection as to the amount of air flow and it's adequacy is beyond the scope of a home inspection. ***In instances where defects are found with the heating system any determination as to adequacy of air flow should be confirmed once repairs are made, by the licensed contractor. As noted previously our inspection is limited and is not meant to determine adequacy or the quantity of air flow to the various locations.***

It is common with some hot air systems to have to balance the air flow. This requires making changes between summer and winter usage, this is because hot air rises and cold air falls. In some instances it maybe necessary to close or restrict air flow to various areas accordingly.

It is recommended that you consider proactively cleaning the duct system along with the units for all forced air heating and or cooling systems. This will aid in removing dust, allergens etc from the previous occupants.

The filter is a throwaway type and should be changed after every one to two months of use, when the proper type filter is installed. Always observe the flow direction when installing a filter. The arrows should normally point towards the unit, the direction of air flow.

The filter was properly installed, this is important to reduce the chance of air by passing the filter.



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The unit was in operation at the time of the inspection and responded to the thermostat. Checking the accuracy or the calibration of the thermostat is beyond the scope of a home inspection. The general visible condition of the system is fair. All systems require replacement and/or repairs with age, between now and replacement some repairs can be expected.

There was adequate clearance around the heater. Nothing should be stored in the area of the heater. Failure to maintain this clearance can create a dangerous condition.

The heater is vented to the chimney through a metal stack. The stack appears to be in satisfactory condition at this time. It is recommended that the vent pipe from any fossil burning appliances and or heaters be mechanically fastened so as to reduce the chance of accidental separation. ***In the event of separation carbon monoxide, a colorless and odorless deadly gas may be discharged into the home.***

A clean out for the chimney was present but was not accessible or inspected. As inspectors we use the cleanout, when present to check for deterioration or blockage in the chimney. If you are concerned it is recommended that access be gained and inspection performed.



Considering the age and location of the chimney, on an outside wall with three exposed surfaces, a chimney liner maybe required when a new heater is installed or possible before. New safety standards recommend a liner for chimney installed in this manner to reduce the chance of failure of older type chimneys. Signs of past repairs and current deterioration of



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the pointing was noted. Future repairs and a possible liner should be considered as the normal aging of the system continues.



WATER HEATER

It is very important that the water temperature be set to the lowest practical temperature for daily use. Failure to take these precautions can lead to severe burns and/or scalding.

Here's how long it takes a baby to suffer a severe burn?

150 degree water scalds in just ½" second!

140 degree water scalds in just 1 second!

However, it takes four minutes for water at 120 degrees to scald.

One simple step for reducing water-heating energy costs is lowering the thermostat setting on your water heater. Although some manufacturers set water heaters at 140 degrees F (60 degrees C), 120 degrees F (48.9 degrees C) is satisfactory for most household needs.

Furthermore, when heated to 140 degrees F, water can pose a safety hazard (i.e., scalding). For each 10 degrees F (5.6 degrees C) reduction in water temperature, water-heating energy consumption can be reduced 3% to 5%.

If your dishwasher does not have a booster heater, lowering the water-heating temperature is not recommended. Also, many dishwasher detergents are formulated to clean effectively at 140 degrees F and may not perform adequately at lower temperatures.

The gas water heater is a 30 gallon unit. A heater of this size may prove to be less than adequate in size for some families. Typically a 40 gallon unit is the minimum recommended size for a family of 3 or more, the average shower requires 15 gallons of hot water. The water heater was installed in 2008.



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To Choose the Right Water Heater for You

1. Determine whether your family is Low Demand or High Demand. You should consider your family to be High Demand if...
 - a. There are more than two full baths in the home.
 - b. There are (or will be) teenagers living in the home. It's a fact: teenagers use more hot water for showering and washing clothes.
 - c. If you have an oversized whirlpool bath or other large tub. As a rule of thumb, the water heater tank capacity should be 100% of your bathtub capacity (example: 75-gallon tub / 75-gallon water heater).
2. Find your Family Size and Demand Profile in the chart below, and read across to find the First Hour Rating Requirement for your family. If you decide your family is High Demand, consider moving up to the next First Hour Rating level.
3. Consult the charts on respective water heater specifications for a residential gas or electric water heater with a First Hour Rating that meets your requirement.

FAMILY SIZE FIRST HOUR RATING REQUIREMENT

2 People	45 - 55 Gallons
3 People	55 - 65 Gallons
4 People	65 - 75 Gallons
5 People	75 - 85 Gallons
6 People	85 - 100 Gallons
7 or More People	100 or More Gallons.

If this unit proves to be undersized for your needs an additional unit of similar size can be installed with a common manifold. The feed to the buildings hot water should be taken from the center of the manifold, this will allow each unit to work equally and provide an efficient system.

The water heater is vented to the chimney through a metal stack. The stack appears to be in satisfactory condition at this time. It is recommended that the vent pipe from gas appliances and or heaters be mechanically fastened so as to reduce the chance of accidental separation. As per manufacture specifications the maximum length of the vent should not exceed 15', this installation appears to be within that range. ***In the event of separation or failure of the system carbon monoxide, a colorless and odorless deadly gas may be discharged into the***



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home.

Consider installing a hot water circulator system to provide quick hot water at the various remote locations. One such unit is the Watts Instant Hot Water Recirculating System. This unit comes with a circulator and timer to allow for operation at desired times. In addition to comfort there maybe a considerable savings of water wasted "waiting for hot water".

The temperature pressure safety relief valve ***should have*** a pipe extending to within 6±" of the floor terminating with a ***visible*** uncapped and unthreaded pipe. This is in case the valve releases the steam and/or hot water will be directed to the floor level away from a person. We do not check the operation of safety relief valves because they are sometimes difficult to reseal. In the event of leakage or discharge from this pipe the temperature pressure relief valve should be changed by a qualified contractor.

ESTIMATED COST \$25.00-35.00 Extend temperature and pressure relief valve for the water heater, to with in 6"± of the ground in a visible location with a ¾" pipe, unthreaded at the bottom.



KITCHEN

The kitchen appliances were turned on where possible, but a complete operational check was not performed nor was any calibration of temperature controlling devices made. That would be a job for an appliance specialist and is beyond the scope of a home inspection. Safety recalls or additional recommended safety devices for appliances are not identified as a part of our visual inspection. Some obvious items when encountered will be addressed on an individual basis when applicable. But this not to be considered an inspection to confirm or identify any or all possible safety concerns in the kitchen. If you are concerned about a specific item further investigation should be performed.



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GAS RANGE *Flexible hoses should be checked on a yearly basis for leaks, if signs of wear are noted replacement should be made.* In some instances older brass or other type lines were used, these are no longer accepted in most areas. Replacement is recommended and maybe required by the local gas supplier. Because we do not move or disassemble appliances we do not check for this type of installation. No calibration nor checking as to the accuracy of the temperature controls was performed as a part of this inspection and is beyond the scope of a home inspection.

Range tip-overs can happen to anyone. If a child steps on an open stove door or if an adult drops a heavy pot or a turkey on the door, the door acts like a lever, forcing the front of the stove down, and then back up. Not only will the stove tip and possibly land on your feet, but anything on the range top, such as a pot of boiling water, will be launched like a grenade. An anti-tip bracket can be attached to the bottom of the wall behind the stove. The stove slides out from the wall easily, but when it's in place, the stove cant tip up in back. Make sure the anti-tip bracket is installed. If it isn't, you can get one from the manufacturer of your stove at a home center. Installing the bracket is a simple, thirty-minute job if you have an electric stove. If you've got a gas stove, call a professional for installation. This procedure absolutely must be done if you have small children in the house.

As home inspectors we do not move stoves or other appliances out from there installed location, because of possible damaging the floor etc. Once you have possession of the home it is recommended that this easy and simple procedure be followed. In addition this should be done for any new installation of any item in the home subject to accidental tipping over.

RANGE HOOD with an internal exhaust. It is recommended, when possible that the range hood be vented to the outside. This will reduce grease and heat in the house.

The installed countertops are in fair condition for there age and show signs of wear. They consist of laminate tops over what is assumed to be particle board.

The wood and laminate cabinets are in fair condition for their age. All cabinets will require some adjustments over time for proper operation of doors and drawers.

The overall condition of the kitchen floor is poor for its age. It is recommended that you budget for replacement at this time. The average cost for replacement of standard floor tile is \$800.00-900.00 for up to 50 square feet and \$10.00-12.00 for each additional square foot. The floor consist of 9 x 9 asphalt tile floor. These tiles are known to contain a small



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amount of asbestos, a known carcinogenic. As long as the tiles are not removed they present not danger. If they are removed they must be handle as hazardous material and the work done by a qualified person. The tiles can be covered with carpet, plywood or new tile. Any loose or damaged tiles must be handled as hazardous waste when removed or disposed of.



INTERIOR

The interior rooms were checked for major structural flaws. In addition ceilings and walls were checked for past leak sites and for significant cracks. The floors were checked for humps, settling and movement or severe separation from the walls, where visible. Doors and windows were checked on a random sampling of those accessible for proper operation.

Any areas covered by carpet, furniture, paintings, house hold items etc. and not visible during a visual inspection performed under the standards of practice of the **AMERICAN SOCIETY OF HOME INSPECTORS** ® are not considered a part of this report.

MOLD, MILDEW, LEAD BASE PAINT AND INDOOR AND OUTDOOR AIR QUALITY

Mold, mildew and indoor and outdoor air quality concerns can be found in any environment and may be especially prevalent in the event that the Inspection Report discloses evidence of moisture or water penetration, active or inactive, anywhere within the property as is common and to be expected. ***However, customer understands and agrees that inspection for and detection of any mold, mildew and indoor or outdoor air quality is beyond the scope of and not included within, this inspection.*** No fee is being charged to the customer for the inspection of any mold, mildew and indoor or outdoor air quality and no such inspection will be performed by the company, with the exception if radon, testing is indicated in the inspection agreement and a fee is charged. Company is not an expert in



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the inspection for or detection of mold, mildew or indoor or outdoor air quality, with the exception of radon testing for which an individual license is held. Company cannot and will not offer any representations, guarantees or warranties of any kind, written or oral, that the property is free from any mold, mildew or other indoor or outdoor air quality concerns.

INSPECTIONS FOR MOLD, MILDEW AND LEAD BASED PAINTS AND INDOOR OR OUTDOOR AIR QUALITY SHOULD BE PERFORMED, DETECTED AND EVALUATED BY OTHER SPECIALISTS OF THE CUSTOMERS CHOICE AND HIRE. IT IS COMMON THAT MOLD OR MILDEW WILL BE FOUND BENEATH WALL COVERINGS, IF REMOVED. THIS IS MOST COMMONLY FOUND IN BATHROOMS ETC WHERE PROPER VENTILATION HAS NOT BEEN PROVIDED OR FANS NOT USED. BUT MOLD AND OR MILDEW CAN BE FOUND BENEATH ANY WALL COVERING OR ANY PLACE WHERE THE CONDITIONS FOR GROWTH ARE PROVIDED.

IF YOU HAVE ANY CONCERN ABOUT THE PRESENCE OR THE POSSIBLE PRESENCE OF MOLD, MILDEW, LEAD BASE PAINTS OR ANY OTHER AIR QUALITY ISSUES A TEST BY A QUALIFIED INDIVIDUAL SHOULD BE ARRANGED FOR DURING THE INSPECTION PERIOD. THE COST OF THIS INSPECTION AND TESTING WILL BE ADDITIONAL AND DEPEND ON THE EXTENT OF THE TEST AND AREAS TESTED.

In addition it should be understood that individuals may have varied degrees of sensitivities to mold, contaminants etc. If anyone who may occupy this property has high sensitivities to any forms of mold, contaminants etc it is our recommendation that you have testing performed by a individual or firm qualified and if possible certified in determining indoor air quality. This as with any such testing should be completed as part of the inspection process and during the time frame allowed by the sales agreement.

NO TEST FOR THE PRESENCE OF LEAD BASE PAINTS OR OTHER LEAD MATERIALS OF ANY TYPE HAS BEEN MADE AS A PART OF THIS INSPECTION. LEAD BASED PAINTS WERE MANUFACTURED FOR USE UNTIL APPROXIMATELY 1978. THEY WERE COMMONLY USED TILL THAT TIME AND IN SOME CASES AFTERWARDS. IT HAS BEEN DETERMINED THAT LEAD CAN BE VERY HARMFUL IF INGESTED BY CHILDREN. IF YOU HAVE ANY CONCERNS IN REGARDS TO THIS CONDITION TESTING CAN BE



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ARRANGED UNDER SEPARATED CONTRACT. BUT IS NOT A PART OF THIS INSPECTION.

There are stains that tested "wet" when checked with a moisture meter. This is a relative term indicating a measurable difference between adjacent areas. This is normally an indication of an active leak that will require further investigations and repairs. These stains were found in the areas basement

ESTIMATED COST \$125.00-175.00 Determine the source and cause of the leak in the listed areas, the cost of repairs will be additional and depend on the cause of the leak and whether remediation of mold is necessary. If mold is present or found treating and/or testing will be additional.



Areas of the basement have 12 x 24 tiles installed. In most cases this is the prime ceiling, with floor joist above. Areas of the basement have 12 x 24 tiles installed. In most cases this is the prime ceiling, with floor joist above. At this time the tiles are in fair to poor condition with numerous missing tiles, replacement is recommended in the future. The 12 x 24 tiles in some areas are sagging, this is normally from age and eventual repairs or replacement maybe necessary.

The dipping and or squeaking of the floors at this time do not appear to be from a structural defect, but from age. Although an annoyance it does not in most cases present any additional concerns. In addition movement and settlement of floors, although annoying, may not present a major defect as per the standards of our inspection. These conditions are to be expected in older homes as is cracking in the finished walls etc. In instances where this is of concern you may wish to have a licensed contractor perform further investigations and provide an estimate and a feasibility study on leveling the floors. In some situations it is not practical to do so.



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There are laundry facilities present, the washer site was provided with a 120-volt electrical receptacle and the washer discharges into a tub. It is recommended that braided hoses be used for all washers. The rubber hoses supplied by the manufacture are known to fail, this can result in extensive damage from flooding. ***All discharge lines must be connected securely to the point of discharge, whether a tub, standpipe or other approved location. Failure to do so can result is excessive damage to the property in the event the discharge hose becomes loose and does not properly discharge to the tub or standpipe as maybe the case.*** The dryer site is provided with a gas line. Care should be taken when flexible lines are used so as to avoid damaging or crimping the gas lines.

It is recommended that all dryer discharge line be professionally cleaned at this time and periodically in the future, this will help reduce lint build up and potential fire hazards. In addition it will aid in reducing the cost of operation due to lint build up in the dryer vents.

The dryer is vented to the outside through a vinyl and/or foil vent. The outside point of termination, for the dryer, is not energy efficient and will lead to higher energy cost. It is recommended that this be changed. One recommended vent termination is shown here and available at most Home Depot or Lowes.

The condition of venting with in the walls or ceilings can only be assumed as no visible inspection is possible nor was performed. The Consumer Products Safety Commission estimates there are 24,000 clothes dryer fires each year in the United States, amounting to \$96,000,000 in estimated property damage. It is believed using more durable and efficient venting systems could eliminate many of these incidents. Vinyl is recommended for use with cool air exhaust, such as bathroom fans. Metal venting resists crushing better than vinyl or foil. This will allow the air and lint to be carried out of the system. Furthermore, reduced airflow from build-up or crushing can cause overheating and wear out the clothes and the appliance faster.

No determination as to the condition and/or blockage of any vents is made as a part of the inspection. Running a dryer or inspecting this type of appliance is not a part of a visual inspection.

Reduced airflow and the resulting lint build-up cause overheating by preventing fast enough drying action. When this happens, the high temperature limit safety switch has to cycle on and off to control the heater. Most high temperature limit switches were never



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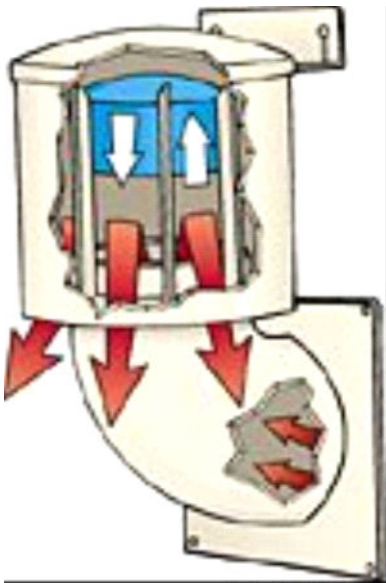
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designed to cycle on and off continuously which can cause them to fail over a period of time.

Lack of maintenance is the leading cause of dryer fires, and LINT is the leading material to ignite. These fires can be caused by failure of mechanical and/or electrical parts within the dryer itself, improper materials being put into the dryer, and insufficient airflow as a result of improper installation.

The proper installation of metal dryer vents with a minimum distance and number of bends to the outside is strongly recommended. Distances over the maximum recommended by the manufacturer may result in poor performance of the dryer and premature failure of various component parts. The type or condition of vents with in the walls can not be visible determined, but in most instances when installed by a builder are metal vents.

The maximum length of a clothes dryer exhaust duct shall not exceed 25 feet (7620 mm) from the dryer location to the outlet terminal. The maximum length of the duct shall be reduced 2½ feet (762 mm) for each 45 degree (0.79 radius) bend and 5 feet (1524 mm) for each 90 degree (1.6 radius) bend.



The interior rails between floors are wood and are in fair condition. Railing should be monitored in the future for signs of failure or loose fittings and repaired as needed.



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There are missing balusters in various locations, replacement is necessary to maintain a maximum distance of 4" o.c. between all balusters.

ESTIMATED COST \$75.00-125.00 each Replace missing balusters using stock balusters as necessary to maintain a proper secure railing system and the maximum distance of 4" o.c. (on center) between balusters. If matching balusters are desired an extra cost for custom turning will be incurred and can be expected to be in the range of \$250.00-350.00 each.



The bathroom floors consist of ceramic tile over, what is assumed to be, a bed of "mud." This is normally a base of cement installed over wire lath. Since it is covered this is an assumption drawn from the visible conditions present. The visible areas are in fair condition. Minor chipping in tile and or marble at the edges is not considered to be a defect as per the ASHI standards. In most instances this is cosmetic in nature and does not have an effect on the performance of the floor or wall system.

The bathroom tub and/or shower walls consist of ceramic tile over a bed of "mud." This is normally a base of cement installed over wire lath. Since it is covered this an assumption drawn from the visible conditions present. The visible areas are in fair condition. It is important to maintain a good seal around the tubs, showers and floor joints in all area where water may infiltrate. This can be done with a good quality latex or silicone caulk. Failure to maintain the caulking will result in leakage to the floor below and or deterioration of the sub straight for the tile. Minor chipping in tile and or marble at the edges is not considered to be a defect as per the ASHI standards. In most instances this is cosmetic in nature and does not have an effect on the performance of the floor or wall system.



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It is important to maintain a good seal around the tubs, showers and floor joints in all area where water may infiltrate. All joints should be sealed with a quality latex or silicone caulk. Failure to maintain the caulking will result in leakage to the floor below and or deterioration of the sub straight for the wall covering. This can lead to extensive damage to the substrate requiring replacement. In addition any water leakage may lead to mold. Replacement of the caulking is necessary for the hall bathroom tub area.

ESTIMATED COST \$100.00-150.00 each Remove old caulking and replace with a quality latex or preferably a silicone caulk. Failure to properly maintain caulking may lead to extensive and costly damage to the substrate, adjacent areas and where applicable areas below. If damage is found to the substrate or any areas an additional cost will be incurred.

There is an operating window present for ventilation of the bathroom.

A material believed to contain asbestos, which is a known carcinogenic material, was found in the garage The presence of asbestos should be confirmed by laboratory test. If this material is confirmed to contain asbestos and removal is necessary it should be removed by a certified company only.

ESTIMATED COST \$600.00-700.00 Testing by a qualified licensed contractor to determine if the material present is Asbestos Containing Material is necessary. If it is determined that the product is an Asbestos Containing Material at levels requiring removal this and any other materials found should be removed. This must be performed by a qualified licensed contractor with all necessary paper work being supplied prior to settlement documenting the removal and disposal of the Asbestos Containing Material. The cost of removal is based on a one time set up fee and an average cost of \$10.00± per lineal foot. For larger jobs over 200 lineal feet the cost per foot maybe less. These cost are assuming normal access and conditions. When adverse conditions exist the cost will be greater.

IF REMOVAL OR ENCAPSULATION IS PERFORMED A COPY OF ALL PAPER WORK GENERATED BY THE REMOVAL AND PROPER DISPOSAL INCLUDING BUT NOT LIMITED TO AIR TESTING, DISPOSAL MANIFEST, REMOVAL AND CLEANUP PROCEDURES FROM A CERTIFIED COMPANY SHOULD BE OBTAINED FOR YOUR PERSONAL RECORDS.



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Asphalt tile, 9" x 9" were installed in various areas of the building. These tiles are known to contain a small amount of asbestos, a known carcinogenic. As long as the tiles are not removed they present not danger. If they are removed they must be handle as hazardous material and the work done by a qualified person. The tiles can be covered with carpet, plywood or new tile. Any loose or damaged tiles must be handled as hazardous waste when removed or disposed of. It was observed that numerous tiles are loose and/or broken in addition to missing areas of tile. Corrective measures are necessary to stabilize the floor tiles and properly remove and dispose of any loose tiles. Once stabilized it is recommended that the area be covered over. If the tile is removed extra cost for the removal of the "cut back" adhesive will be necessary as nothing will properly adhere to the cut back, except asphalt tile.

The method of installation of ceiling fans and or there boxes is beyond the scope of a home inspection, because disassemble and removal of the fan would be necessary. All fans must be installed in outlet boxes marked "acceptable for fan support" and the box properly installed and secured. This is good for fans and components up to 35 lbs. If after adding up the weight of the fan and all components, the weight exceeds 35 lbs., the fan must be attached directly to a structure capable of supporting the entire weight. If there are fans installed that you are concerned about the services of a licensed electrician should be retained to determine if the corrective measures are necessary. All fans should be installed at a height to provide safe passage beneath.

Fans, when present and the controls are present either remotes or switches are tested for operation. No opinion as to the adequacy of the fans is to be assumed. In some cases when run for prolong times or at high speeds problems may occur that are not noticeable during a brief inspection. These conditions are beyond our limited visual inspection and therefore are not a part of our service.



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ELECTRICAL

The visible and accessible portions of the electrical system were checked where accessible. We do not check under ground cables or items belonging to the electric utilities. This is a job for the power company or a licensed electrician. ***The distribution lines and or the adequacy to receptacle, switches, fixtures etc. cannot be confirmed as a part of a home inspection. This would require opening every receptacle, switch fixtures, junction etc to confirm the size of the wire and the rating of the connected appliance with the installed overload protection device.***

We do not pull fuse mains, if present, nor do we turn off main breakers or switches. If we did this all power to the building would be turned off and result is all clocks etc requiring resetting. In addition if a computer should be present this may cause damage to the system.

The service to the building is an aerial 100-amp 120/240 volt three wire stranded aluminum service.

The service cable between the meter and the panel has failed and requires replacement at this time. The use of electrical tape as a covering is not permitted. In addition if it is determined that the meter socket requires replacement too an added cost of \$100.00-150.00 maybe incurred.

ESTIMATED COST \$150.00-250.00 Replace the service cable between the panel and the meter that is covered with tape.



The electrical service terminates in the laundry room into a circuit breaker panel. The cover and/or covers of the electrical panel were removed and the interior was visibly inspected for signs of arcing or over heated circuits, no visible signs of damage were observed. It was observed inside the circuit breaker panel that there are wires present with the outer



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insulation still on the wires, this is incorrect and should be stripped back.

ESTIMATED COST \$75.00-100.00 Have a licensed electrician remove the outer insulation on the wires in the panel as necessary.



In the panel, circuits are present with more than one wire under a screw. These wires should be separated onto separate circuits properly sized overload protective devices. This will assure the proper use and distribution of power. This is in addition to reducing the chance of unequal torque on the separate wires, which can cause overheating and potential fire hazards.

ESTIMATED COST \$100.00-150.00 Correct all double tapped circuits as required. If an additional panel is necessary to facilitate the repairs added cost will be incurred.



There are improperly sized breakers installed, this is a potentially dangerous condition. All circuits should be properly protected to avoid the possibility of over heating the wiring, insulation and/or the panel. In changing the devices to the proper size, in relation to the connected wire in some cases the circuits may fail. This is an indication that the wire is not suited for the connected load. In this case, the possibility of new or additional circuits is likely. This condition cannot be determined by a building inspection.

ESTIMATED COST \$75.00-125.00 Install proper size circuit breakers for all



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improperly sized devices. In changing the devices to the proper size, in relation to the connected wire in some cases the circuits may fail. This is an indication that the wire is not suited for the connected load. In this case, the possibility of new or additional circuits is likely at an additional cost. This condition cannot be determined by a building inspection.

The visible wiring was traced from the panel box in all visible and accessible areas. All visible wiring was Romex (non metallic sheathing) and/or Bx (metallic sheathing) MC-Metal-Clad cable, wiring in generally serviceable condition. The visible and accessible solid branch wiring was copper for 14 ga, 20 ga and 10 ga circuits. In some cases stranded aluminum is and can be used for larger circuits.

There are areas where standard romex wiring has been used outside, this is not permitted. All exterior wiring must meet current standards and be either in weather tight conduit or UF cable.

ESTIMATED COST \$100.00-150.00 Replace all improper exterior wiring using approved methods and either weather tight conduit or UF cable and the proper connectors.



Install proper connectors for all wires to electrical panel and/or other areas.

ESTIMATED COST 20.00-30.00 each box Install connectors for all wires at the electrical panel as necessary.



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The water meter does not have a properly installed jumper for the electrical system. This should be installed so that if at any time the water meter is removed the electrical system will still be properly grounded.

ESTIMATED COST \$25.00-35.00 Install proper jumper for water meter, this must be a minimum of a #6 bare copper wire with proper clamps. If necessary a ground rod should also be installed at an added cost of \$75.00-100.00. Today a ground rod is required for all systems in addition to the water pipe ground.



There were no visible GFCI protected outlets found, it is recommended that they be installed in all required locations. They should be installed for all receptacles in the garage, when present and in use as a garage, except for not readily accessible receptacle used for garage door openers, outside, roof tops, bathrooms, crawl spaces, unfinished basements and all receptacles over or in reach of a countertop, except for the refrigerator and any area where there is the danger of electrical shock. The current standards in place at the time of this inspection should be applied.

It is recommended that GFCI receptacles be installed in all required locations as per current standards. They should be installed for all receptacles in the garage, when present and in use as a garage, except for not readily accessible receptacle used for garage door openers, outside, roof tops, bathrooms, crawl spaces, unfinished basements and all receptacles over



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or in reach of a countertop, except for the refrigerator and any area where there is the danger of electrical shock. The current standards in place at the time of this inspection should be applied.

ESTIMATED COST \$75.00-100.00 each Provide GFCI protection for all receptacles in the garage, when present and in use as a garage, except for not readily accessible receptacle used for garage door openers, outside, roof tops, bathrooms, crawl spaces, unfinished basements and all receptacles over or in reach of a countertop, except for the refrigerator and any area where there is the danger of electrical shock. The current standards in place at the time of this inspection should be applied. All new GFCI'S should meet the new current standards adopted in 2004. Multiple receptacles can be installed on the load side of a single GFCI receptacle on the same circuit.

There were visible smoke detectors present. Properly operating smoke detectors must be installed on each floor for safety. In addition it is recommended that they be installed in each bedroom and be electrically connected together. In the event one unit detects smoke all will sound. It is also recommended that all smoke detectors be checked for proper operation on a monthly basis. Although present these units may not meet current safety standards or may not be in service.

NO TESTING OF THE SYSTEM WAS PERFORMED AS A PART OF THIS INSPECTION. IT IS OUR OPINION THAT YOU AS THE NEW OWNER SHOULD TEST THE SYSTEM PRIOR TO OCCUPANCY AND ON A PERIODIC BASIS THERE AFTER. ALL BATTERIES SHOULD BE CHANGED YEARLY AND THE SYSTEM TESTED AT A MINIMUM OF EVERY THREE MONTHS.

For a home and a home based business, a working smoke alarm and fire escape plan are essential. Smoke alarms should be installed on every level of building, including the basement, on ceilings or high on walls. They should be tested once a month, according to manufacturer's instructions. Batteries should be replaced once a year or as soon as the smoke alarm "chirps," indicating the battery is low.

Smoke alarms should be replaced every 10 years, even those that are hard-wired, or "long life," 10-year battery-types. Hard-wired alarms should be installed by a qualified electrician. ***If you are not sure of the age of the installed system it is recommended that the units be replaced so you will know the age and can properly monitor the systems age.***



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It is our recommendation, in any property where fossil fuel is being burn, ***that carbon monoxide detectors be installed in all living spaces as per the manufactures recommendation.*** While these are not a full proof means of detecting elevated levels of carbon monoxide, they offer a level of protection not offered by any other means at this time. In some counties these are now required. But regardless whether required by the counties or not we recommend they be installed in all spaces are recommended by the manufactures. These usually are all sleeping areas, mechanical rooms, family rooms etc.

ATTIC

The attic was not entered nor inspected, there is either no access nor adequate room to enter the attic as is typical for this type of installation. This is common on this type of home. Even though not accessible proper attic ventilation is very important to maintaining a "healthy house". The changing of air in the attic helps reduce the humidity and prevents condensation. Air from the house migrates to the attic as a normal situation, but the venting to the outside must be adequate to allow for the removal of this moist air. These conditions can, if not attended to create many problems. Proper ventilation must be maintained year round. Failure to properly ventilate the area may result in the formation of mold.

The amount and type of insulation also can not be determined. Care must be taken not to add too much insulation, if you desire to add insulation. Blocking ventilation ports can cause adverse effects and moisture accumulation. Consult with a qualified contractor to do this work is desired.

If not insulated and weatherstripped properly, attic access covers or hatches can be a major source of energy loss for a property. Not only can conditioned air escape around the access panels perimeter, but uninsulated access hatches also facilitate heat gain and loss through the opening itself. Moisture-laden air from the interior of the property can condense on attic surfaces and deteriorate sheathing and insulation. To reduce energy loss and enhance a properties durability, there are several prefabricated systems designed to insulate attic access hatches and to prevent drafts through them. In addition, there are many do-it-yourself methods and materials available for customized thermal sealing of attic openings. The various systems and methods for insulating and sealing the attic access utilize zippers, hinges, and an insulated box and cover. Several sizes are available from



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each manufacturer to fit different opening dimensions. Some attic stair units come with integral insulation for an all-in-one system that can be installed in one step.

Even though not always accessible or visible proper attic ventilation is very important to maintaining a "healthy house". The changing of air in the attic helps reduce the humidity and prevents condensation. Air from the house migrates to the attic as a normal situation, but the venting to the outside must be adequate to allow for the removal of this moist air. These conditions can, if not attended to create many problems. ***Proper ventilation must be maintained year round. Failure to properly ventilate the area may result in the formation of mold, deterioration and lead to poor IAQ (indoor air quality). In instances where access is not possible or severely limited it is recommended that further evaluation be performed once access is obtained, preferable prior to the expiration of the home inspection time period.***

Proper attic ventilation is very important to maintaining a "healthy environment". The changing of air in the attic helps reduce the humidity and prevents condensation, which can result in the growth of mold. Air from the house migrates to the attic as a normal condition, but the venting to the outside must be adequate to allow for the removal of this moist air. Proper ventilation must be maintained year round to reduce the normal moisture and heat in the attic. Failure to provide adequate ventilation may result in the formation of mold and excessive heat will shorten the life expectancy of the roofing.

AIR CONDITIONING

All air conditioning units will require maintenance and with age possible the adding of Freon or Puron gas. This is a normal occurrence and should be budgeted for now and in the future. As the unit age efficiency will lessen and cost of operation may increase. At a point in the future replacement may become replace the inside and exterior unit in order to achieve higher efficiencies available with newer units. Older units tend to be inefficient and costly to operate. Considering the cost of electricity replacement maybe cost effective before the unit fails.

Window and/or through the wall air conditioners need maintenance routinely. The filter, usually located behind the front grill, needs to be washed. The condenser coil at the back of



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the unit can accumulate a lot of debris, and might require a special chemical bath. All air conditioning systems, large or small, need good air flow across the evaporator coil and the condenser coil. Efficiency and performance drop rapidly as air flow decreases, if there is enough air flow and the unit will burn out. Rodents can nest inside when not in use, and can foul up the unit in many ways. Wasps and hornets, as well as the bee find finned coils to be comfortable nesting places. Nests and dead insects can ruin the air conditioner.

Window air conditioning units are not inspected as a part of this inspection as per the ASHRAE standards of practice. In some cases these units are not a part of the sale of the property. Central air conditioners and heat pumps are rated according to their seasonal energy efficiency ratio (SEER), which is the seasonal cooling output in Btu divided by the seasonal energy input in watt-hours for an average U.S. climate. Pre-1992 central air conditioners may have SEER ratings of only 6 or 7. The national efficiency standard for central air conditioners in 2003 requires a minimum SEER of 12, but it has risen to SEER 13 for products manufactured after January 22, 2006. But you should be aware that there are still units with lower SEER ratings in stock and you must confirm with the HVAC contractor the SEER of the unit to be installed.

When installing any air conditioning system it is recommended that you consider purchasing a unit charged with Puron gas as opposed to Freon gas that is being eliminated and will not be available in the future. Under the 1990 Clean Air Act, Freon systems must be phased out by 2010 because it is an ozone-depleting substance.

Like many consumer products that use energy, air conditioners and heat pumps are manufactured to meet or exceed minimum efficiency standards set by the U.S. Department of Energy. For nearly a decade, that minimum has been 10 SEER (Seasonal Energy Efficiency Ratio). On **January 23, 2006**, the minimum will jump to 13 SEER, a 30% increase over the current standard. The Seasonal Energy Efficiency Ratio (SEER) measures the efficiency of air conditioners and heat pumps. The higher the SEER, the more efficient the product.

The 13 SEER minimum applies to everyone - consumers, your local HVAC dealer and all manufacturers of air conditioners and heat pumps. However, it only applies to new equipment *manufactured* on or after January 22, 2006.

Units with a 13 SEER deliver about 23% energy savings compared to 10 SEER models and even more over older units manufactured prior to introduction of the SEER ratings in the



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mid 1990s Units with 13 SEER delivers about 8% energy savings compared to 12 SEER models

Units charged with Freon can not be converted to Puron gas and at sometime in the future replacement will be required rather than repair or charging.

The seasonal energy efficiency ratio is a federally mandated energy-efficiency rating for central air conditioners Be sure to compare SEER ratings if you're purchasing a new AC system. For more information: www.aceee.org/consumerguide/aircon.htm.